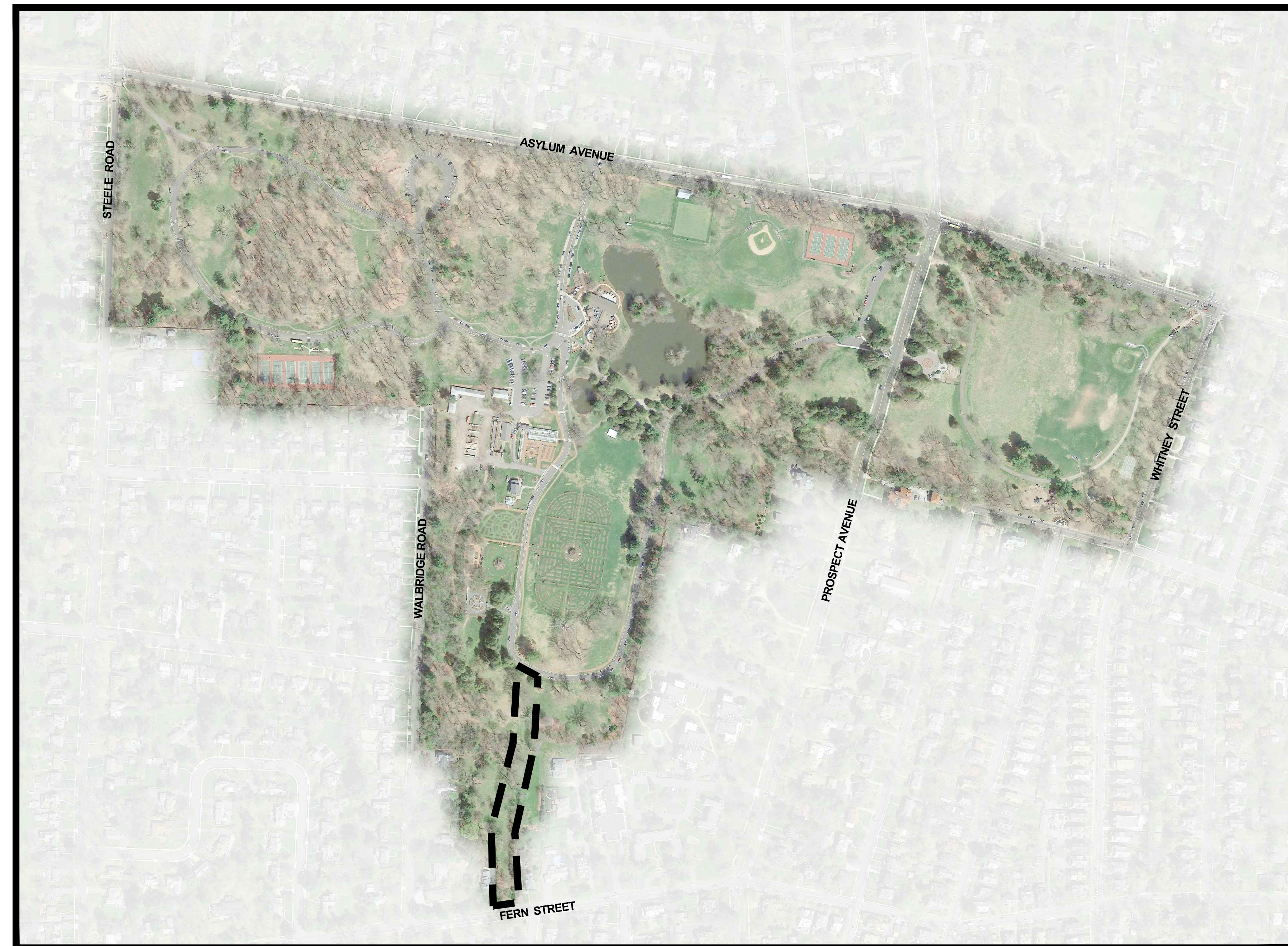


# ELIZABETH PARK FERN STREET PEDESTRIAN GATEWAY & WALK

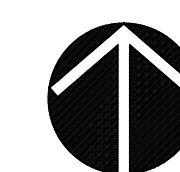
204 Fern Street and 1563 Asylum Avenue

West Hartford, Connecticut



Project Site

NTS



**SPECIAL USE PERMIT APPLICATION**

**July 16, 2019**

**Owner: The City of Hartford, Connecticut**

**Duly Authorized Mayor: Luke A. Bronin**

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L-5.0 - L-5.1	Site Details
ES-1	Erosion & Soil Sedimentation Control Notes and Details

Prepared by:

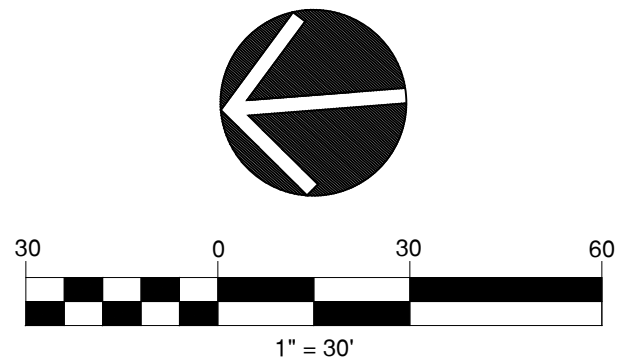
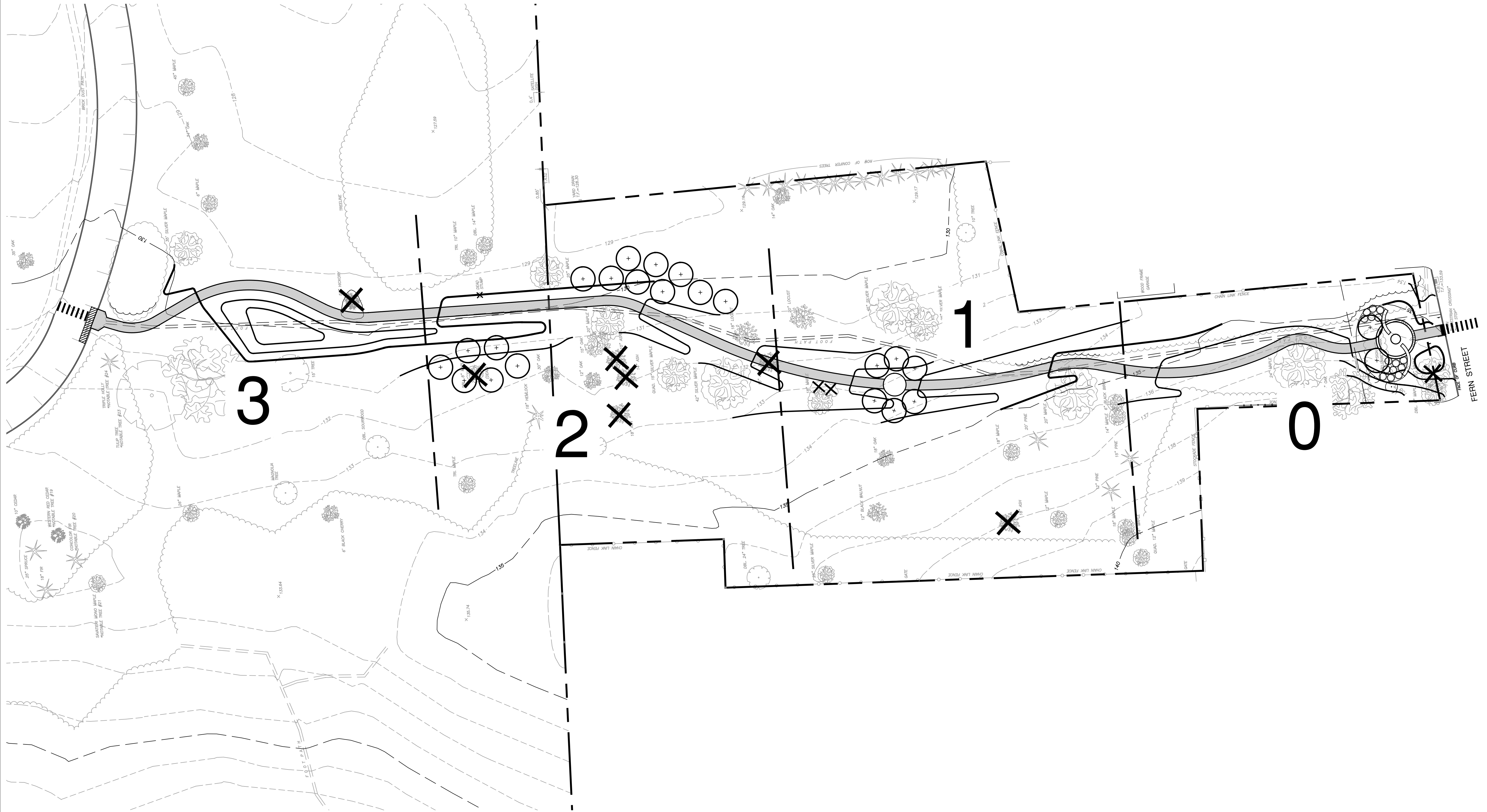
**todesign**  
SITE DESIGN  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING

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SUITE 202  
NEW BRITAIN, CT 06051  
860-612-1700

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CREATING MEANINGFUL OUTDOOR SPACES





ELIZABETH PARK  
FERN STREET PEDESTRIAN  
GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

Sheet Description:

Overall  
Plan

Rev:

Issue Date:  
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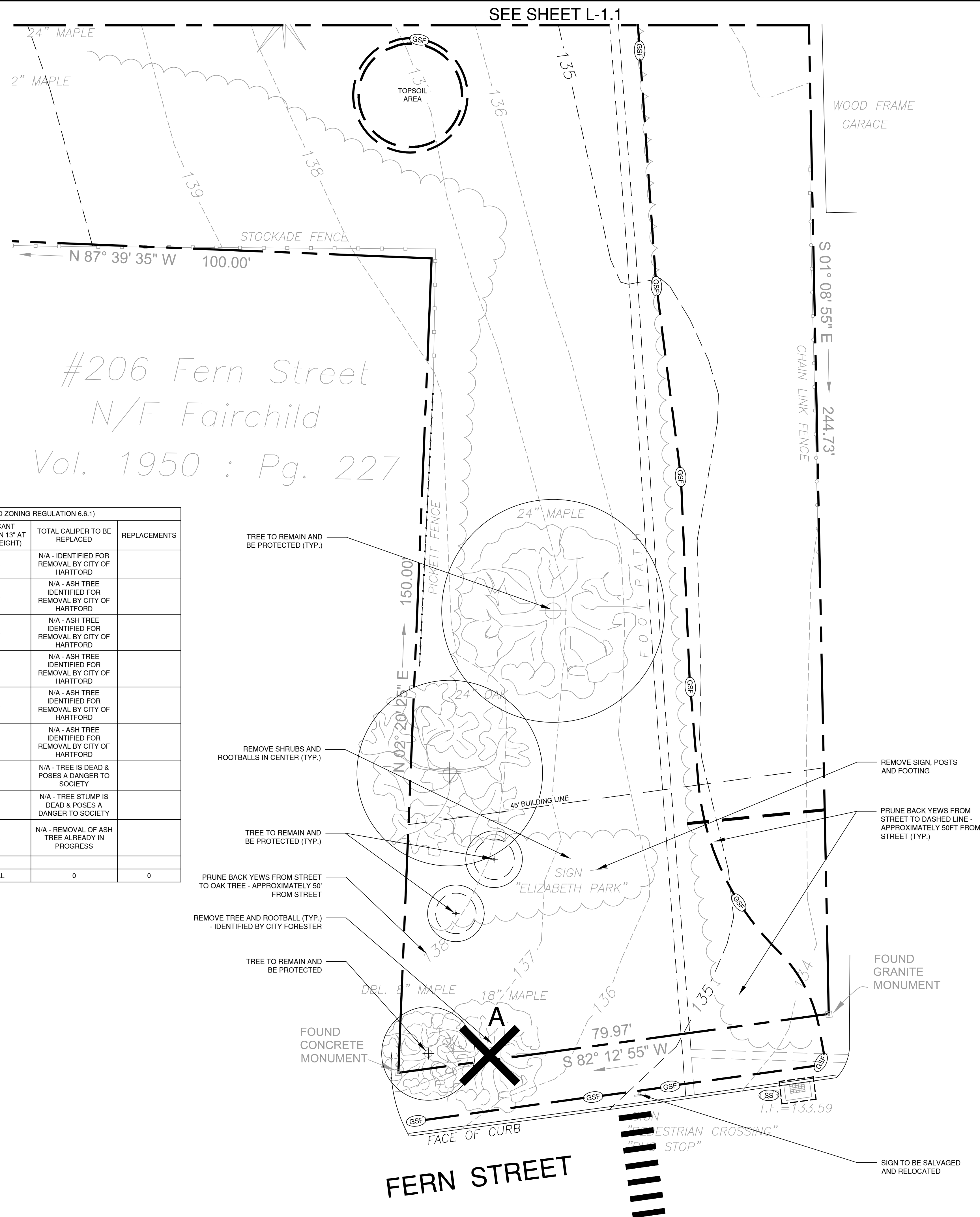
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MD

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6319

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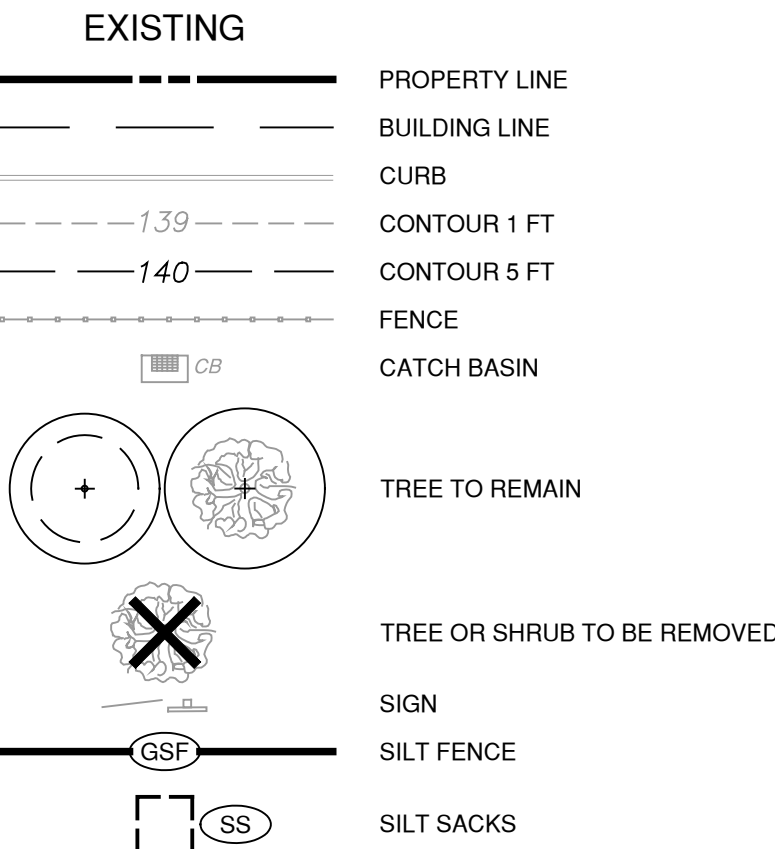
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## DEMOLITION NOTES

1. CONTRACTOR SHALL STRIP AND STORE TOPSOIL IN ALL AREAS TO BE DISTURBED OR REGRADED.
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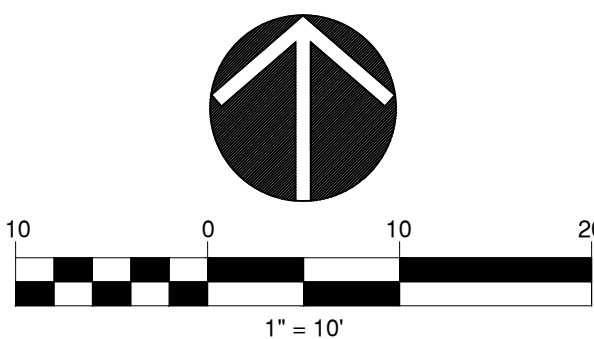


## SURVEY REFERENCE

EXISTING CONDITIONS PLAN WAS DERIVED FROM SURVEY INFORMATION FROM PLAN ENTITLED: "PROPERTY/BOUNDARY SURVEY", DATED OCTOBER 25, 2016, BY BASCOM & BENJAMIN, 360 MAIN STREET, DURHAM, CT 06422; PHONE: 860-349-1676.

## CONSTRUCTION SEQUENCE

- |   |         |
|---|---------|
| 1. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES.        | 2 DAYS  |
| 2. REMOVE EXISTING SITE FEATURES.                             | 5 DAYS  |
| 3. SITE DEMO AND GRADING.                                     | 14 DAYS |
| 4. PAVEMENT AND PLAZA CONSTRUCTION, INCLUDING BASE MATERIALS. | 10 DAYS |
| 5. INSTALL GRANITE BENCHES.                                   | 2 DAYS  |
| 6. PLANT TREES.   | 5 DAYS  |
| 7. SEED DISTURBED AREAS AND CLEAN SITE.                       | 3 DAYS  |



**114 WEST MAIN STREET  
SUITE 202  
NEW BRITAIN, CT 06051  
860-612-1700**

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**SITE DESIGN  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING**

Prepared For:

ELIZABETH PARK  
CONSERVANCY

Consultant

ELIZABETH PARK  
FERN STREET PEDESTRIAN  
GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE  
WEST HARTFORD, CT

Sheet Description:

# Demolition Plan

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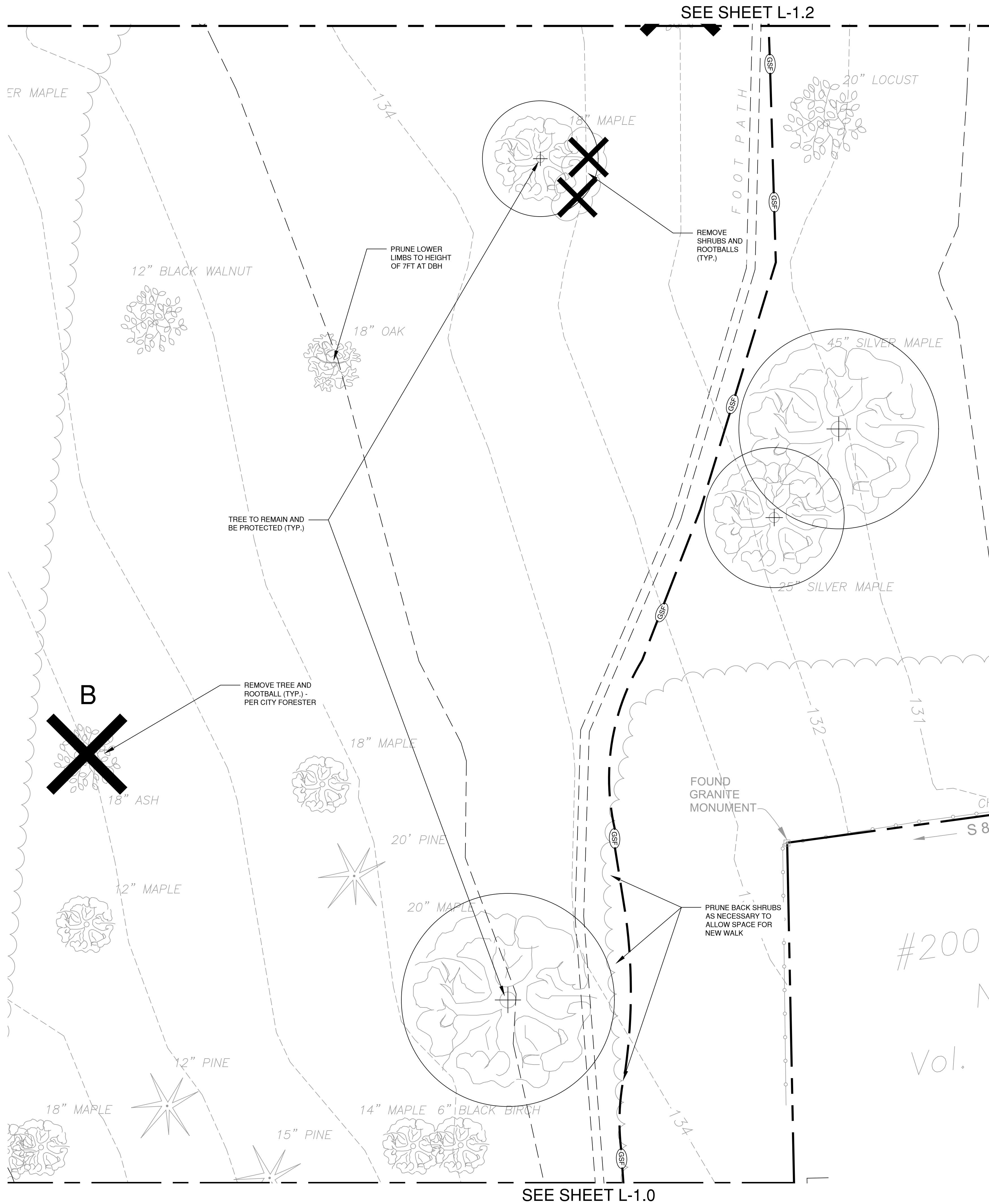
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6319

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## DEMOLITION NOTES

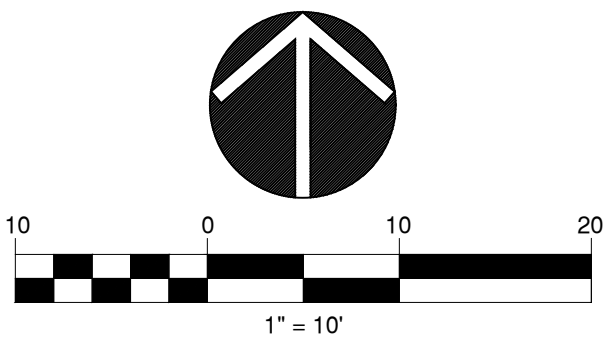
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EXISTING	
	PROPERTY LINE
	BUILDING LINE
	CURB
	CONTOUR 1 FT
	CONTOUR 5 FT
	FENCE
	CATCH BASIN
	TREE TO REMAIN
	TREE OR SHRUB TO BE REMOVED
	SIGN
	SILT FENCE
	SILT SACKS

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SITE DESIGN  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING

Prepared For:

ELIZABETH PARK  
CONSERVANCY

Consultant

ELIZABETH PARK  
FERN STREET PEDESTRIAN  
GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

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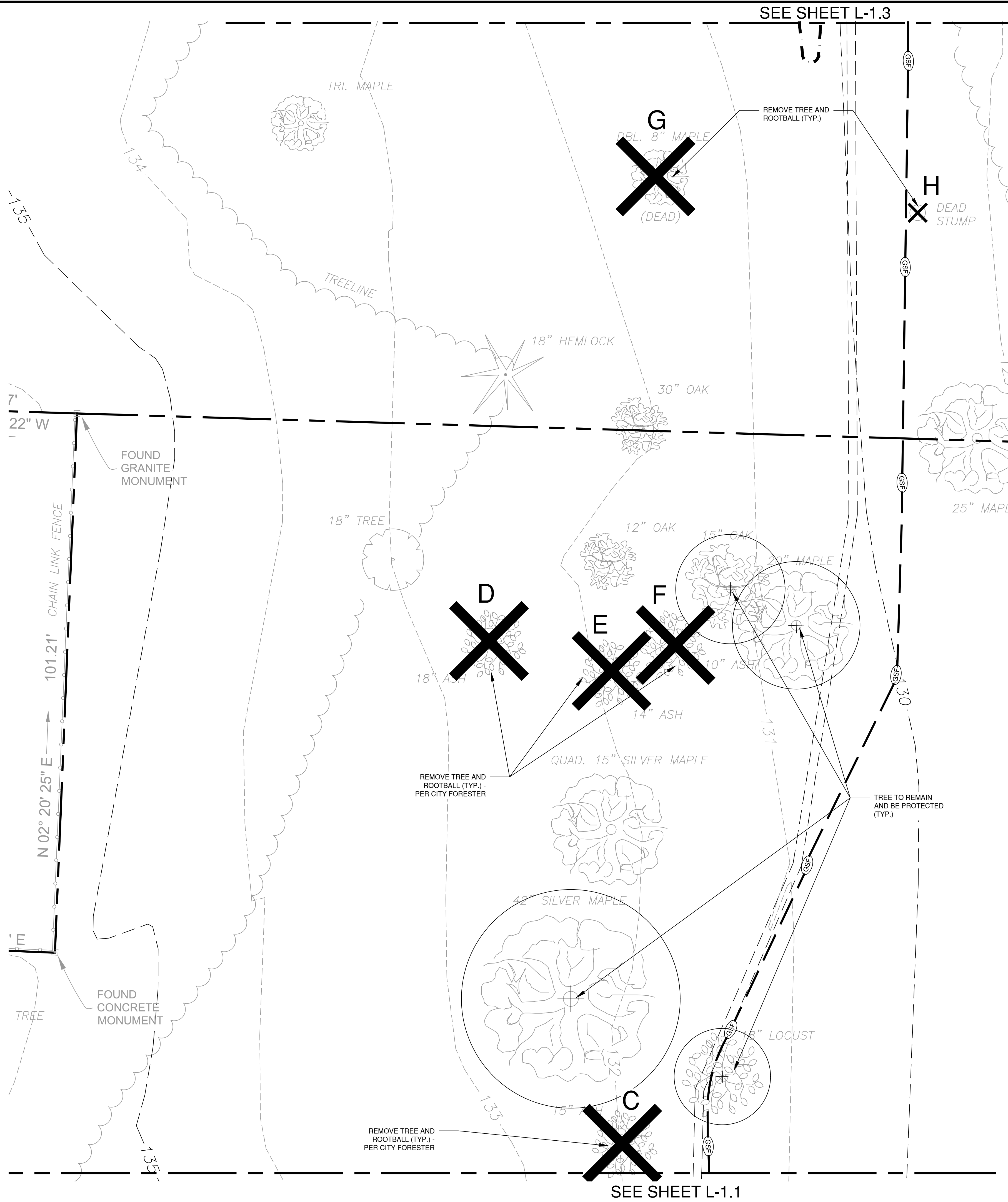
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6319

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## DEMOLITION NOTES

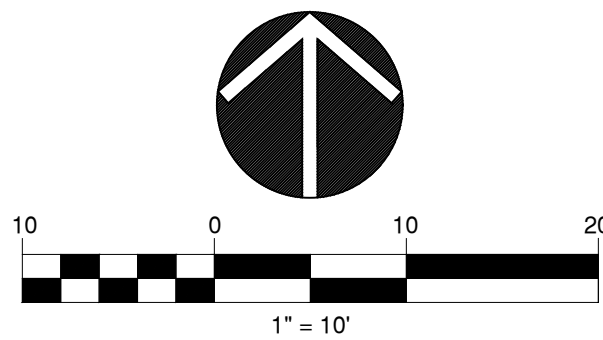
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SITE DESIGN  
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URBAN PLANNING

Prepared For:

ELIZABETH PARK  
CONSERVANCY

Consultant

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FERN STREET PEDESTRIAN  
GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

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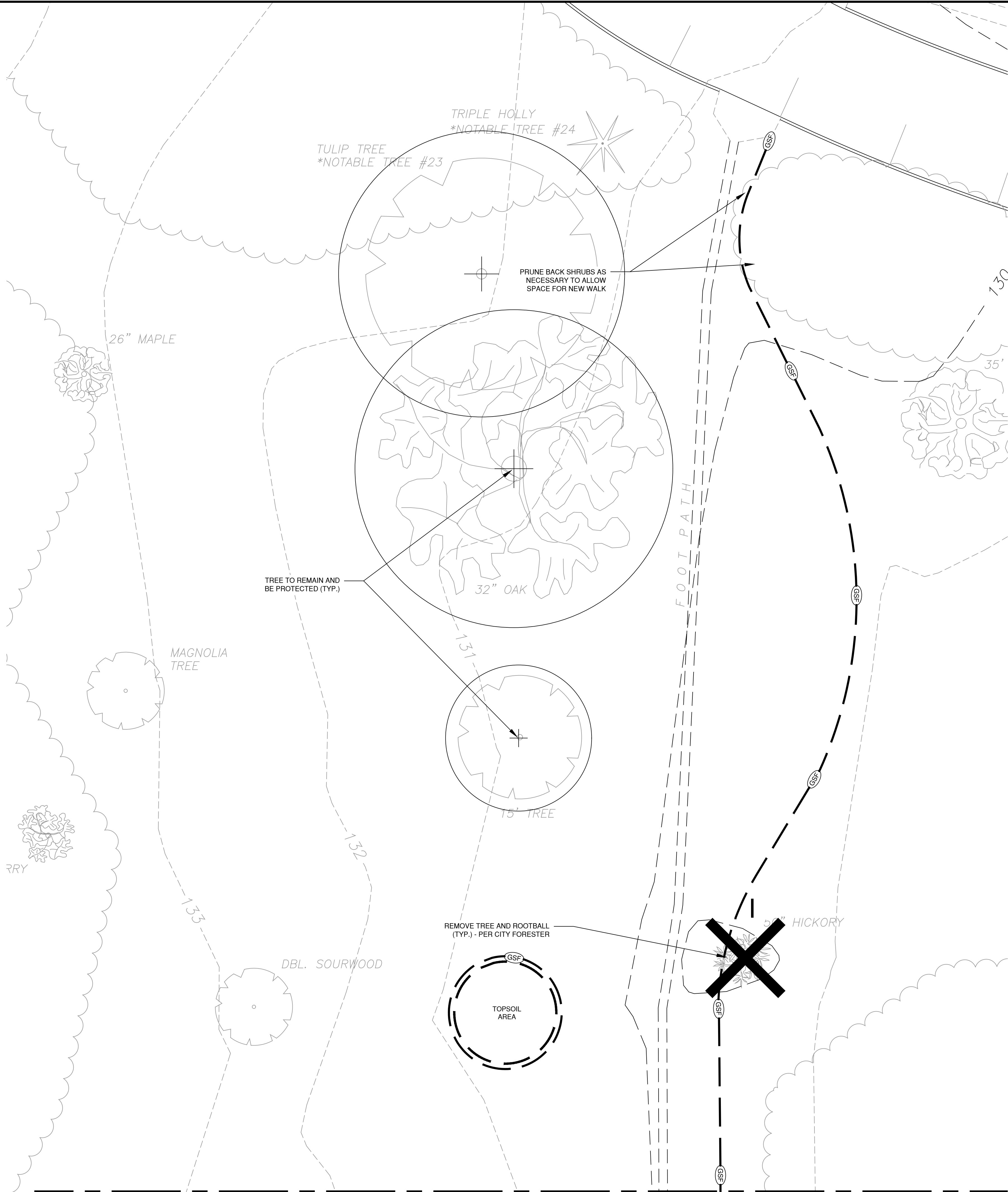
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DEMOLITION NOTES

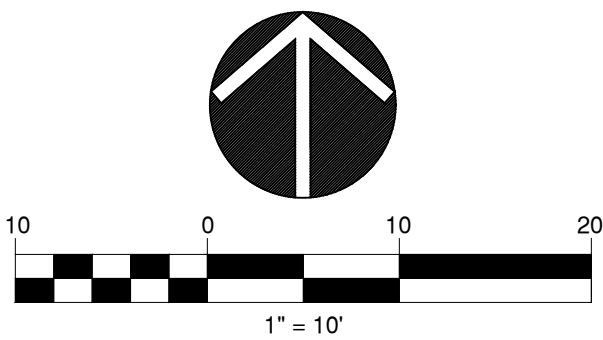
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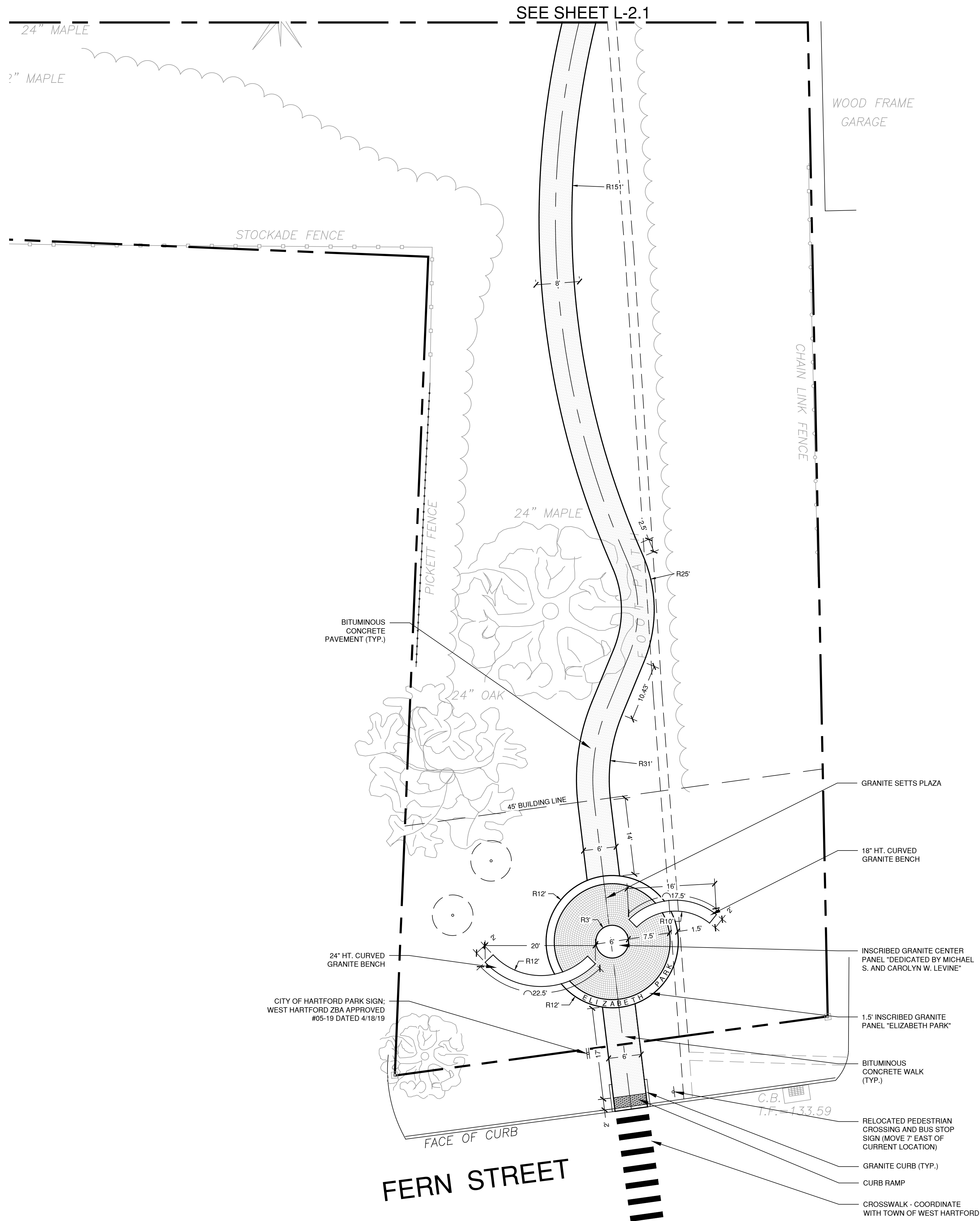
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## LAYOUT NOTES

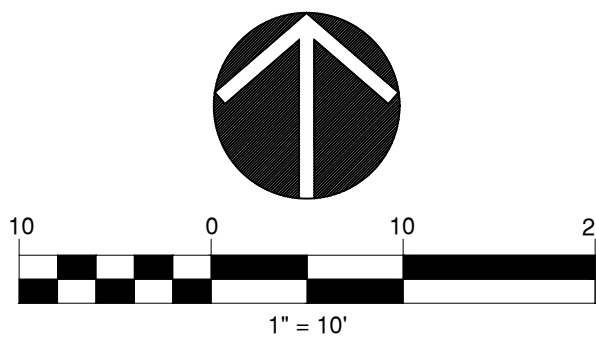
1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 816/817 AND THE TOWN OF WEST HARTFORD SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
7. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
8. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABOUT NEW CONSTRUCTION. THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
12. CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
13. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
14. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.

## LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	BUILDING LINE
	CURB
	FENCE
	BITUMINOUS PAVEMENT
	SIGN
	DETAIL NAME

ZONING INFORMATION - 1563 ASYLUM AVENUE				
ZONE: R-10	REQUIRED	EXISTING	PROPOSED	CONFORMANCE
USE	PUBLIC PARK	PUBLIC PARK	PUBLIC PARK	YES
MIN LOT AREA PER DWELLING UNIT (SQUARE FEET)	10,500	N/A	N/A	N/A
AVERAGE LOT WIDTH (FEET)	70	1700	SAME	YES
MIN LOT DEPTH (FEET)	100	800	SAME	YES
MIN SIDE YARD (FEET) - MAIN BUILDING	10	N/A	N/A	N/A
MIN REAR YARD (FEET) - MAIN BUILDING	30	N/A	N/A	N/A
MAX LOT COVERAGE OF ALL BUILDINGS	30%	0.59%	SAME	YES
MAX HORIZONTAL DIMENSION PER BUILDING (FEET)	250	135 (POND HOUSE)	SAME	YES

ZONING INFORMATION - 204 FERN STREET				
ZONE: R-10	REQUIRED	EXISTING	PROPOSED	CONFORMANCE
USE	PUBLIC PARK	PUBLIC PARK	PUBLIC PARK	YES
MIN LOT AREA PER DWELLING UNIT (SQUARE FEET)	10,500	N/A	N/A	N/A
AVERAGE LOT WIDTH (FEET)	70	115	SAME	YES
MIN LOT DEPTH (FEET)	100	465	SAME	YES
MINIMUM LOT FRONT YARD (FEET)	45	N/A	N/A	N/A
MIN SIDE YARD (FEET) - MAIN BUILDING	10	N/A	N/A	N/A
MIN REAR YARD (FEET) - MAIN BUILDING	30	N/A	N/A	N/A
MAX LOT COVERAGE OF ALL BUILDINGS	30%	N/A	N/A	N/A
MAX HORIZONTAL DIMENSION PER BUILDING (FEET)	250	N/A	N/A	N/A



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MD

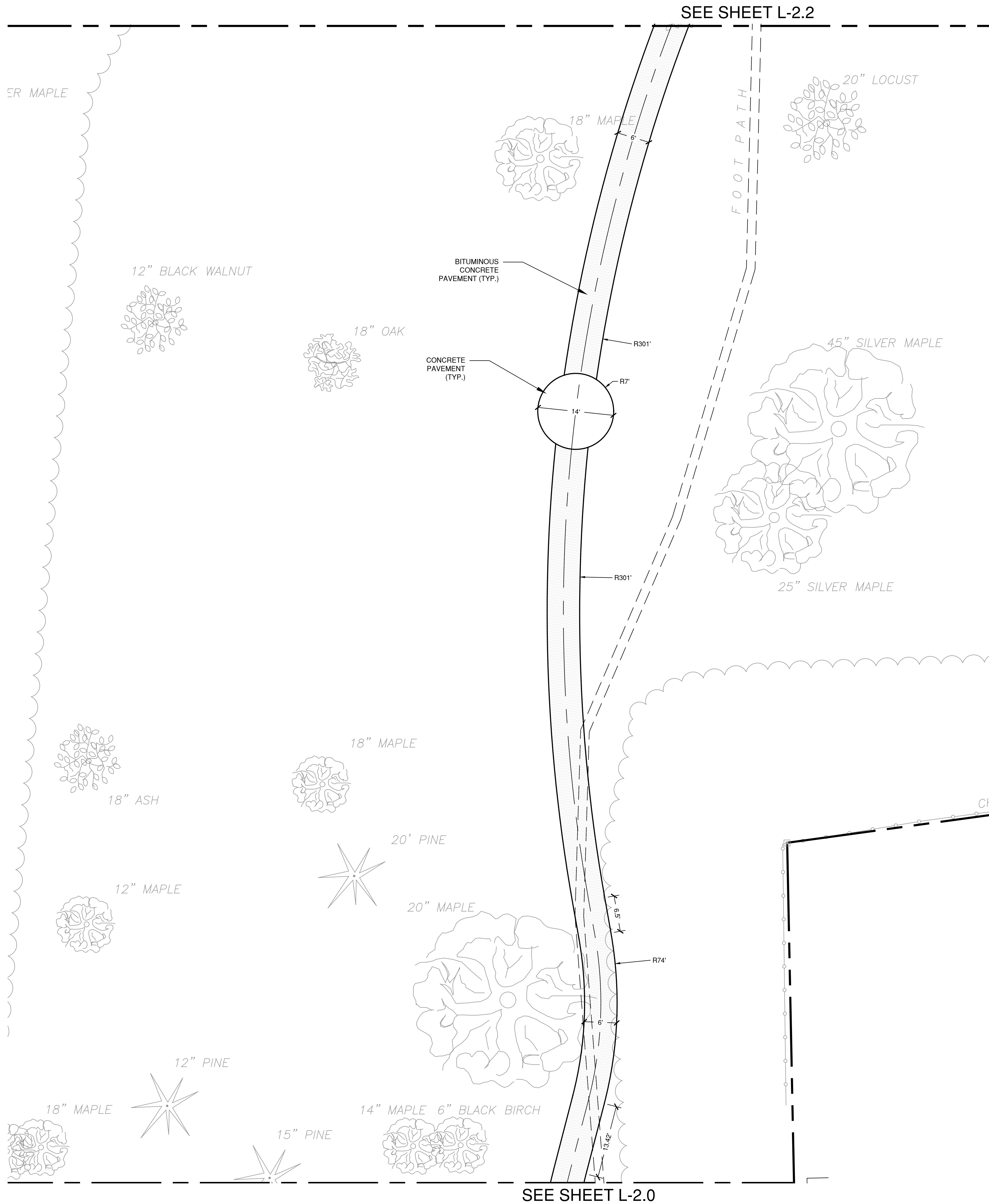
Project number:  
6319

Sheet #:

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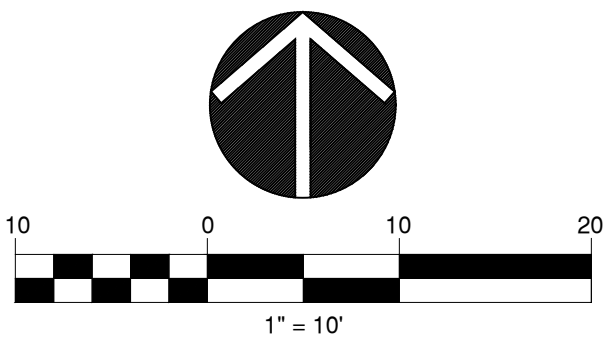


LAYOUT NOTES

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LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	BUILDING LINE
	CURB
	FENCE
	BITUMINOUS PAVEMENT
	SIGN
	DETAIL 1 SHEET L-5.0
	DETAIL NAME



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114 WEST MAIN STREET  
SUITE 202  
NEW BRITAIN, CT 06051  
860-612-1700

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SITE DESIGN  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING

Prepared For:

ELIZABETH PARK  
CONSERVANCY

Consultant

ELIZABETH PARK  
FERN STREET PEDESTRIAN  
GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

Sheet Description:

Layout  
Plan

Rev:

Issue Date:  
JULY 16, 2019

Scale:  
AS NOTED

Drawn by:  
MD

Project number:  
6319

Sheet #:

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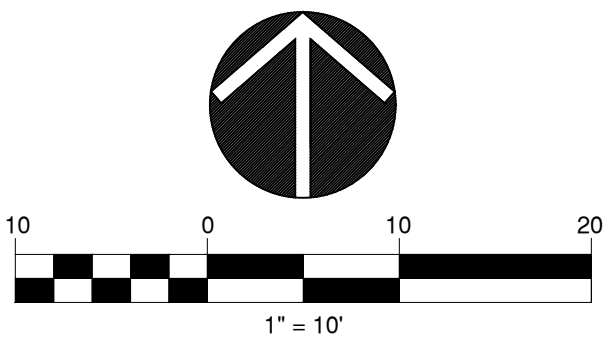


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EXISTING	PROPOSED
	PROPERTY LINE
	BUILDING LINE
	CURB
	FENCE
	BITUMINOUS PAVEMENT
	SIGN
	DETAIL NAME



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URBAN PLANNING

Prepared For:

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Consultant

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GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

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Drawn by:  
MD

Project number:  
6319

Sheet #:

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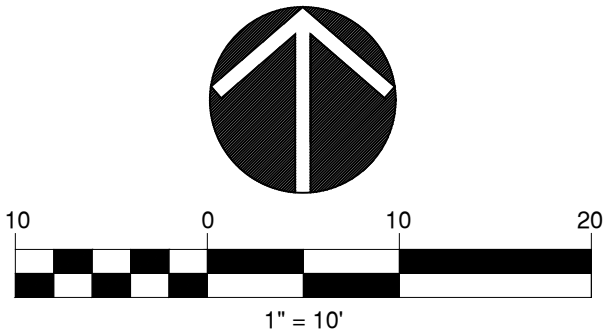


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EXISTING	PROPOSED
	PROPERTY LINE
	BUILDING LINE
	CURB
	FENCE
	BITUMINOUS PAVEMENT
	SIGN
	DETAIL 1 SHEET L-5.0
	DETAIL NAME



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860-612-1700

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SITE DESIGN  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING

Prepared For:

ELIZABETH PARK  
CONSERVANCY

Consultant

ELIZABETH PARK  
FERN STREET PEDESTRIAN  
GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

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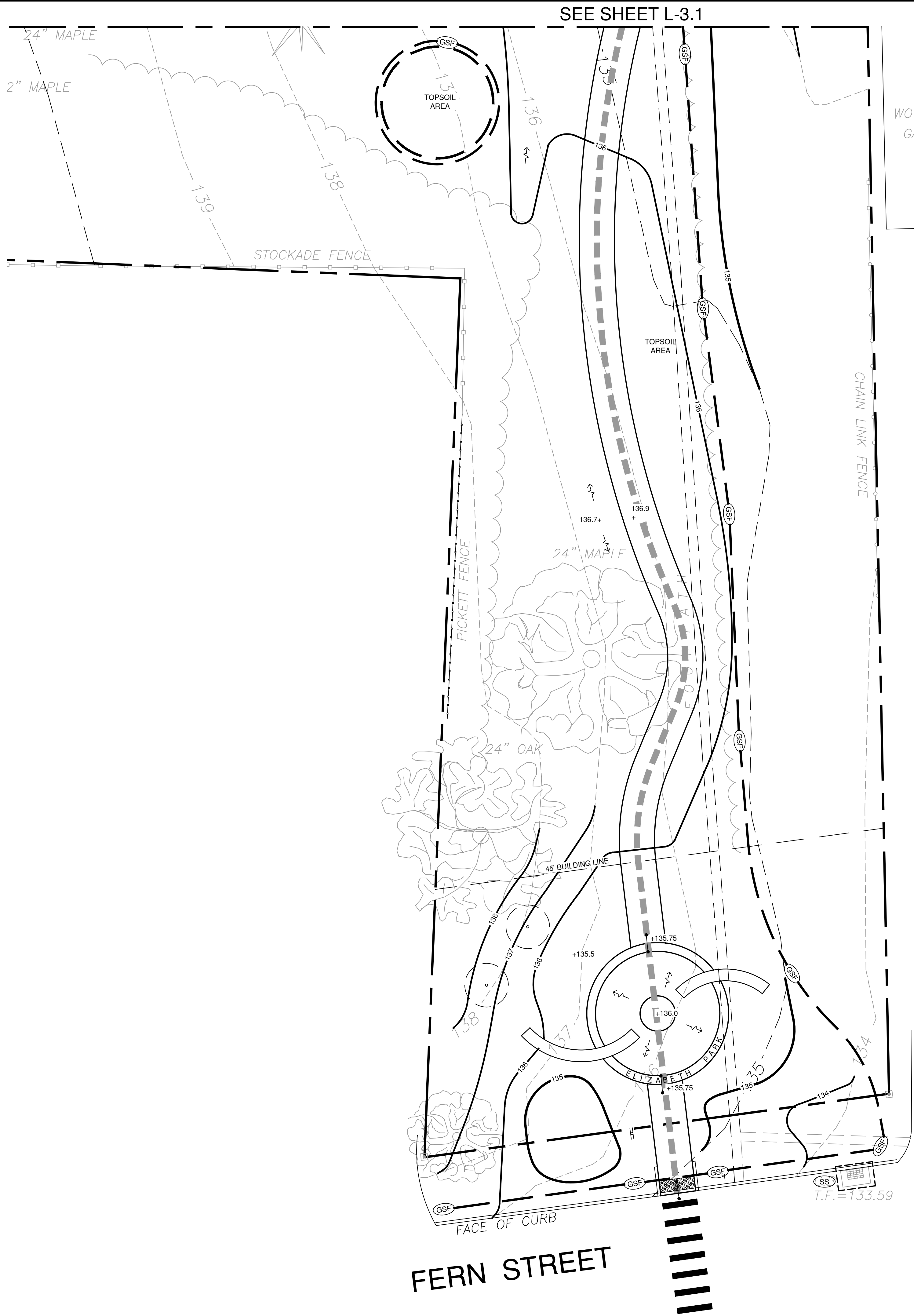
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MD

Project number:  
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Sheet #:

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## GRADING AND UTILITY NOTES

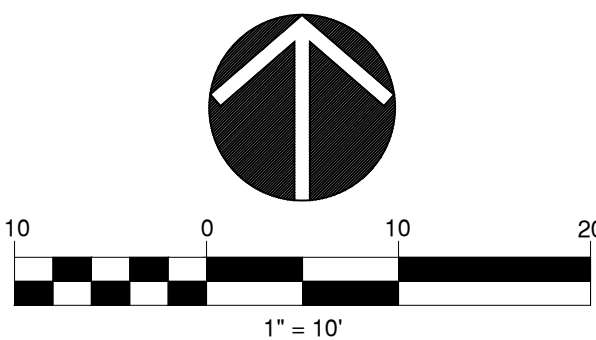
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## LEGEND

EXISTING		PROPOSED
---	PROPERTY LINE	---
---	BUILDING LINE	---
---	CURB	---
--- 139 ---	CONTOUR 1 FT	--- 139 ---
--- 140 ---	CONTOUR 5 FT	--- 140 ---
---	SPOT GRADE	+136.0
---	FLOW ARROW	---
---	FLUSH CONDITION	---
CB	CATCH BASIN	GSF
---	SILT FENCE	SS
---	HAYBALE/SILT SACKS	---
---	ACCESSIBLE ROUTE	---

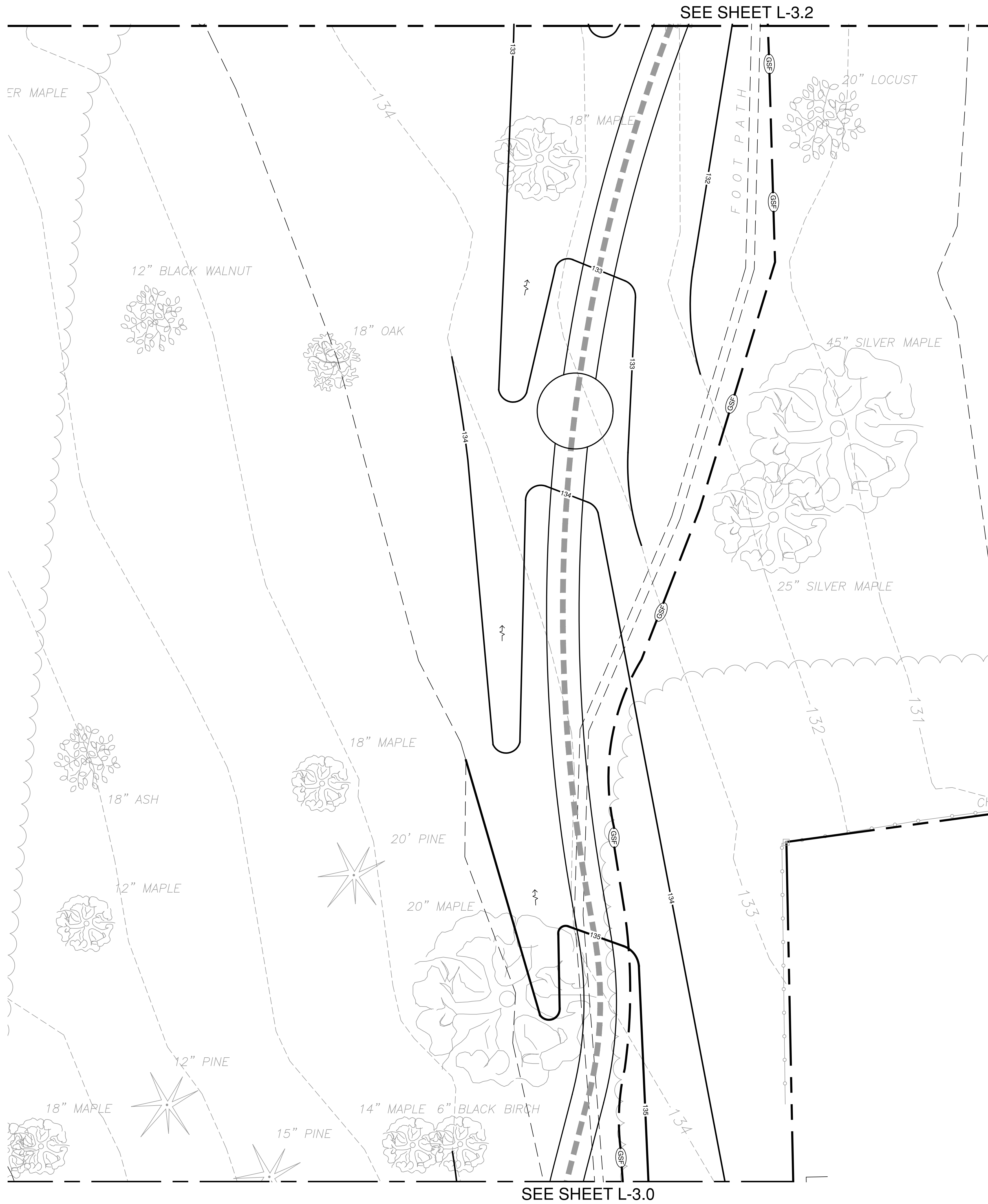
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## GRADING AND UTILITY NOTES

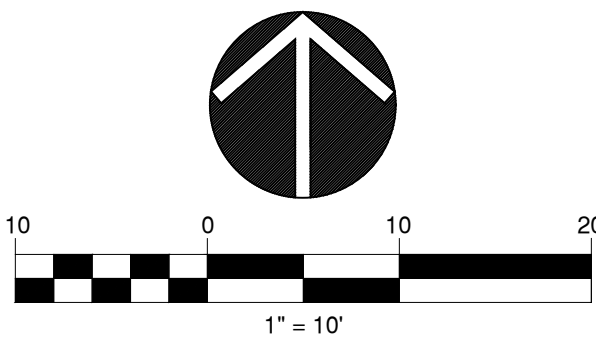
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## LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	BUILDING LINE
	CURB
	CONTOUR 1 FT
	CONTOUR 5 FT
	SPOT GRADE
	FLOW ARROW
	FLUSH CONDITION
	CATCH BASIN
	SILT FENCE
	HAYBALE/SILT SACKS
	ACCESSIBLE ROUTE

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860-612-1700

todesignllc.com

SITE DESIGN  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING

Prepared For:

ELIZABETH PARK  
CONSERVANCY

Consultant

ELIZABETH PARK  
FERN STREET PEDESTRIAN  
GATEWAY & WALK  
204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

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Plan

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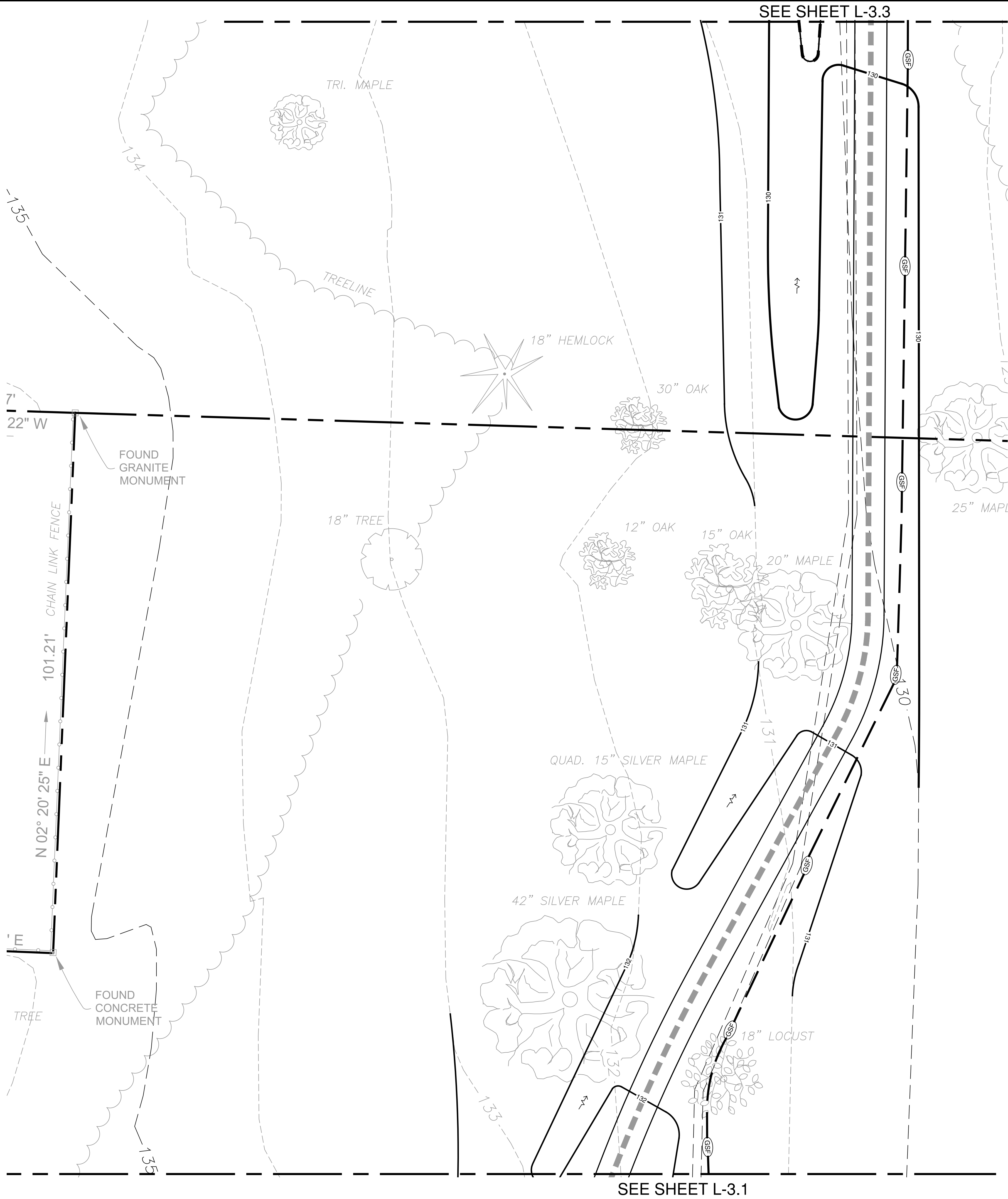
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## GRADING AND UTILITY NOTES

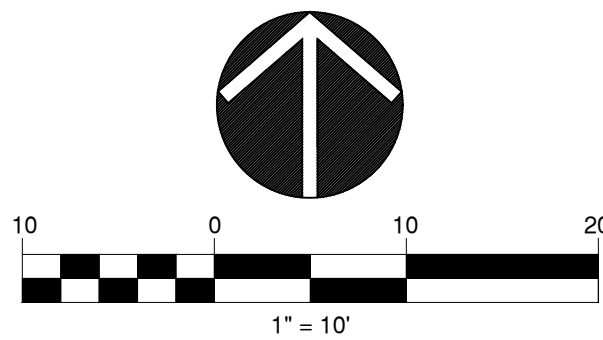
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	PROPERTY LINE
	BUILDING LINE
	CURB
	CONTOUR 1 FT
	CONTOUR 5 FT
	SPOT GRADE
	FLOW ARROW
	FLUSH CONDITION
	CATCH BASIN
	SILT FENCE
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Sheet Description:

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6319

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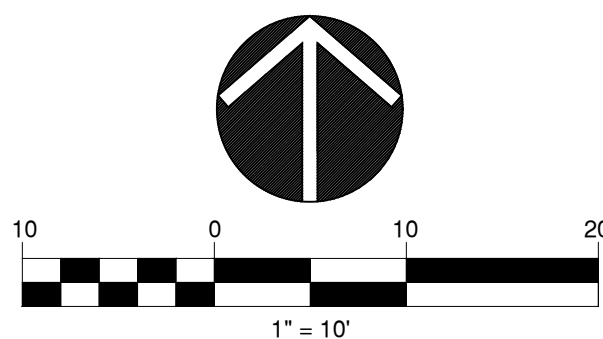
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PROPERTY LINE	
BUILDING LINE	
CURB	
CONTOUR 1 FT	139
CONTOUR 5 FT	140
SPOT GRADE	+136.0
FLOW ARROW	→
FLUSH CONDITION	•
CATCH BASIN	GSF
SILT FENCE	SS
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ACCESSIBLE ROUTE	

## ACCESSIBILITY NOTES

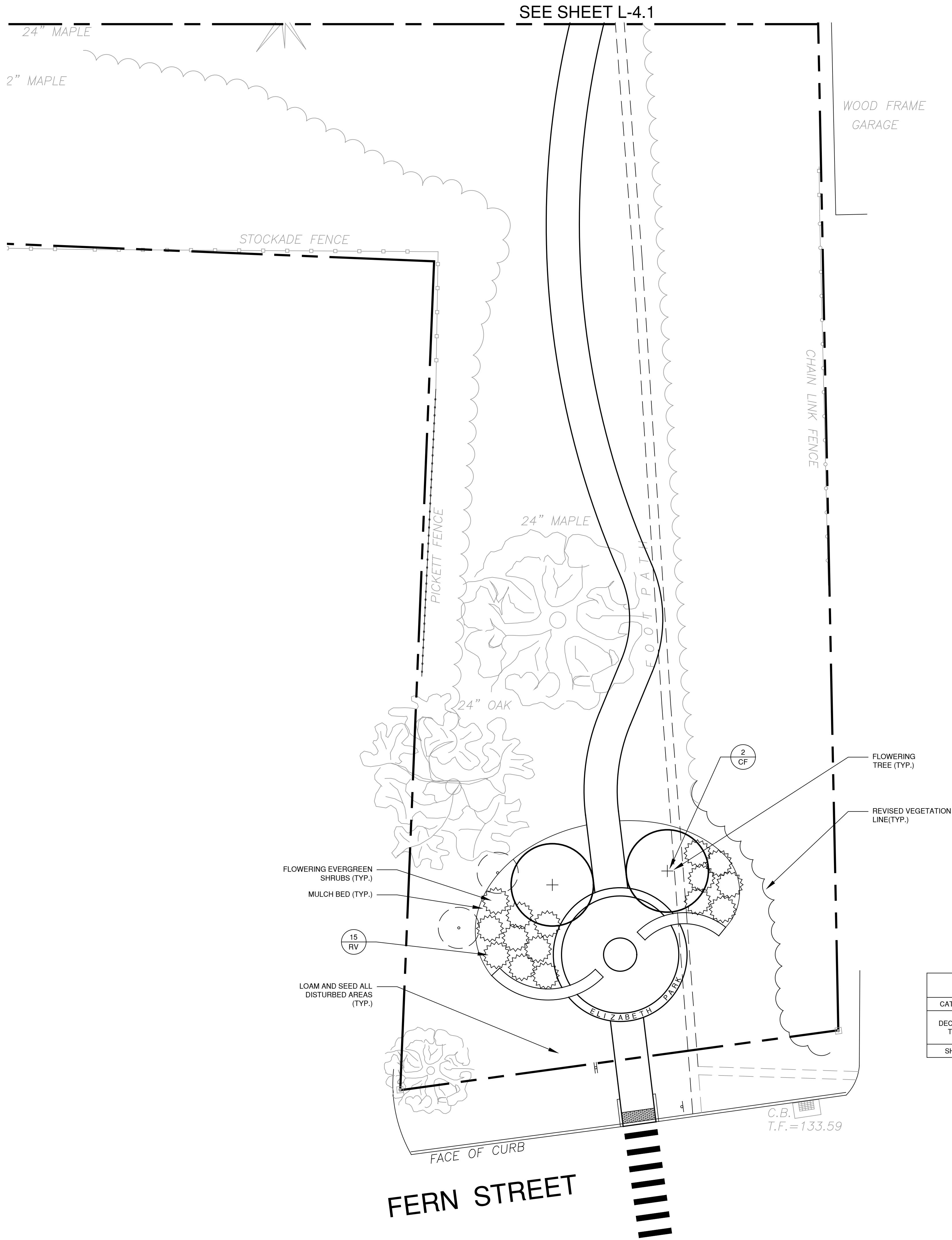
1. SLOPES ALONG THE ACCESSIBLE ROUTE SHALL BE LESS THAN 1:20 (5%) AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN  $\frac{1}{4}$  INCH.



SEE SHEET L-3.2









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### LEGEND

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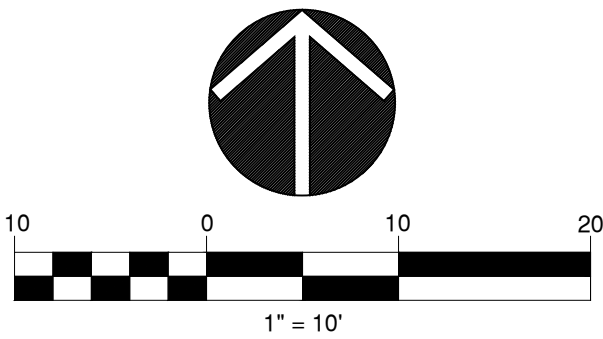
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A. SHRUBS - 18" DEPTH

### PLANT SCHEDULE

CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES	AG	9	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SHADBLOW	8' - 10' HT. CLUMP	B&B
	CF	14	CORNUS FLORIDA 'CHEROKEE BRAVE'	CHEROKEE BRAVE DOGWOOD	2 1/2" - 3" CAL.	B&B
SHRUBS	RV	15	RHODODENDRON VISCOSUM	SWAMP WHITE AZALEA	18" - 24" HT	CONT.



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SITE DESIGN  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING

Prepared For:

ELIZABETH PARK  
CONSERVANCY

Consultant

ELIZABETH PARK  
FERN STREET PEDESTRIAN  
GATEWAY & WALK

204 FERN STREET & 1563 ASYLUM AVENUE WEST HARTFORD, CT

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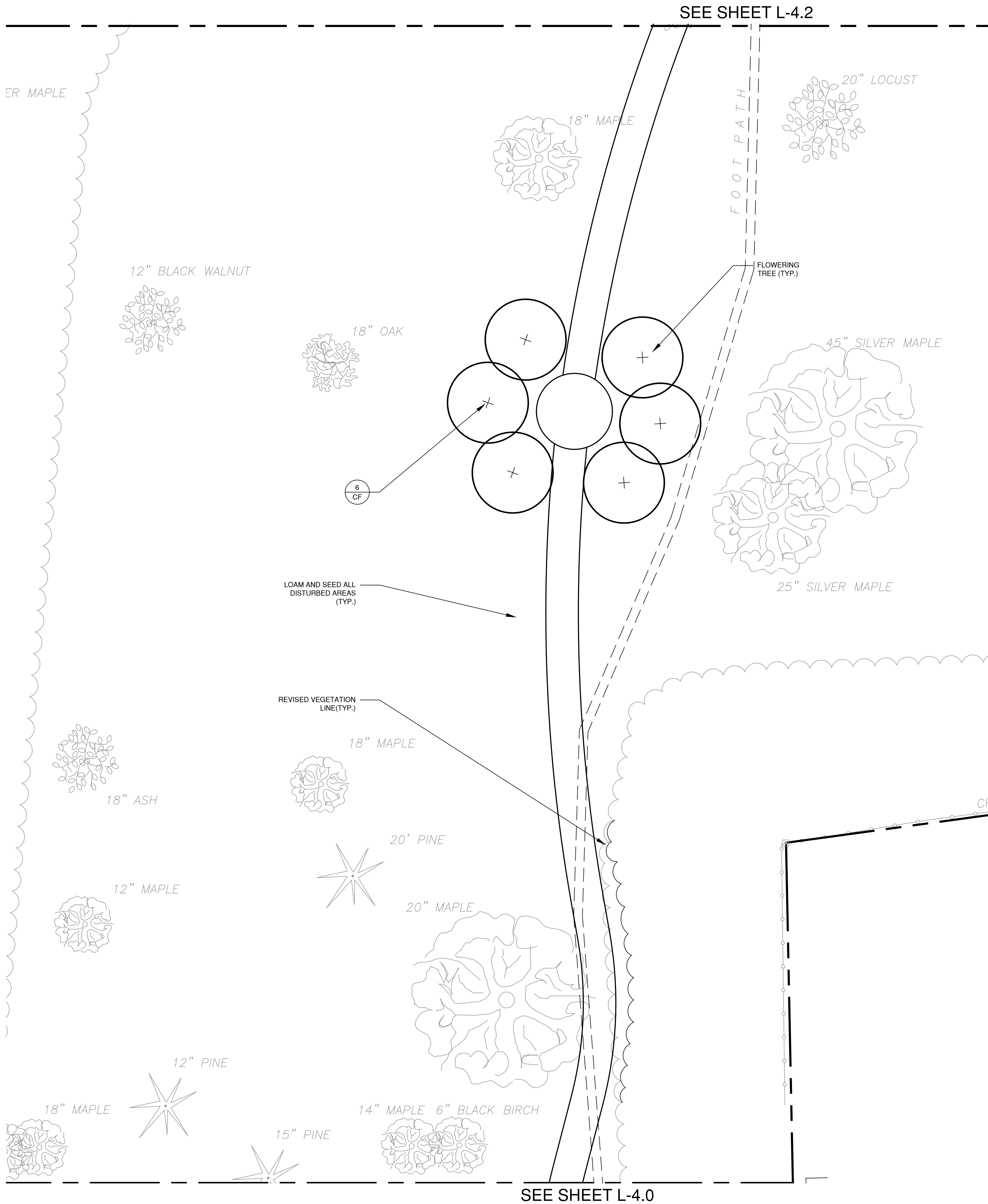
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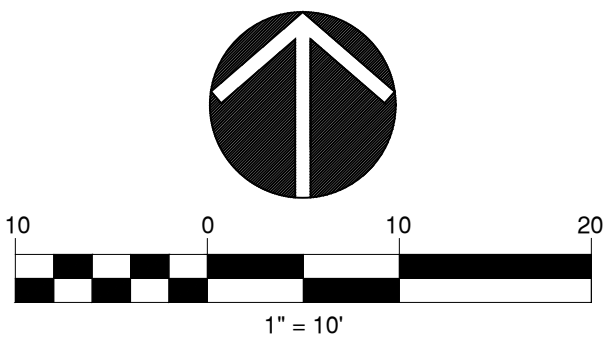
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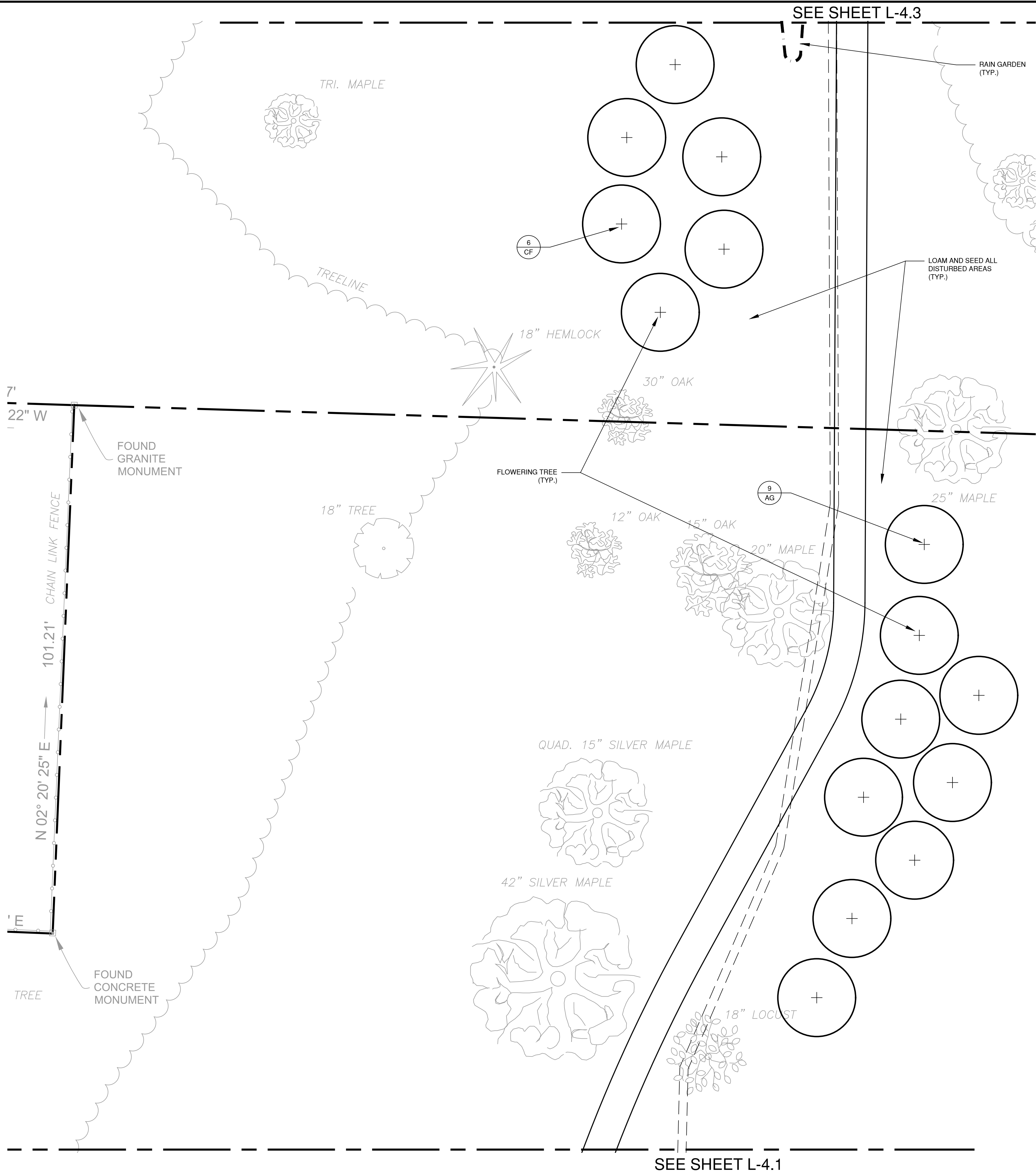
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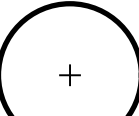

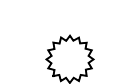

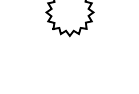




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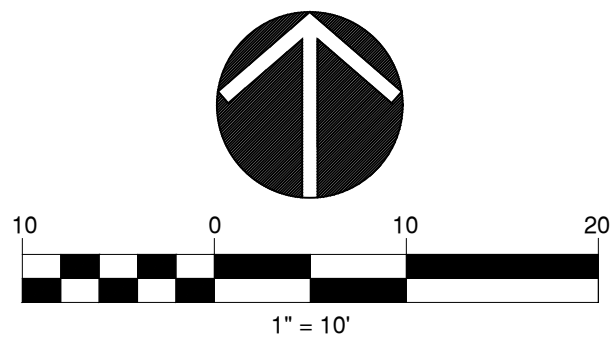
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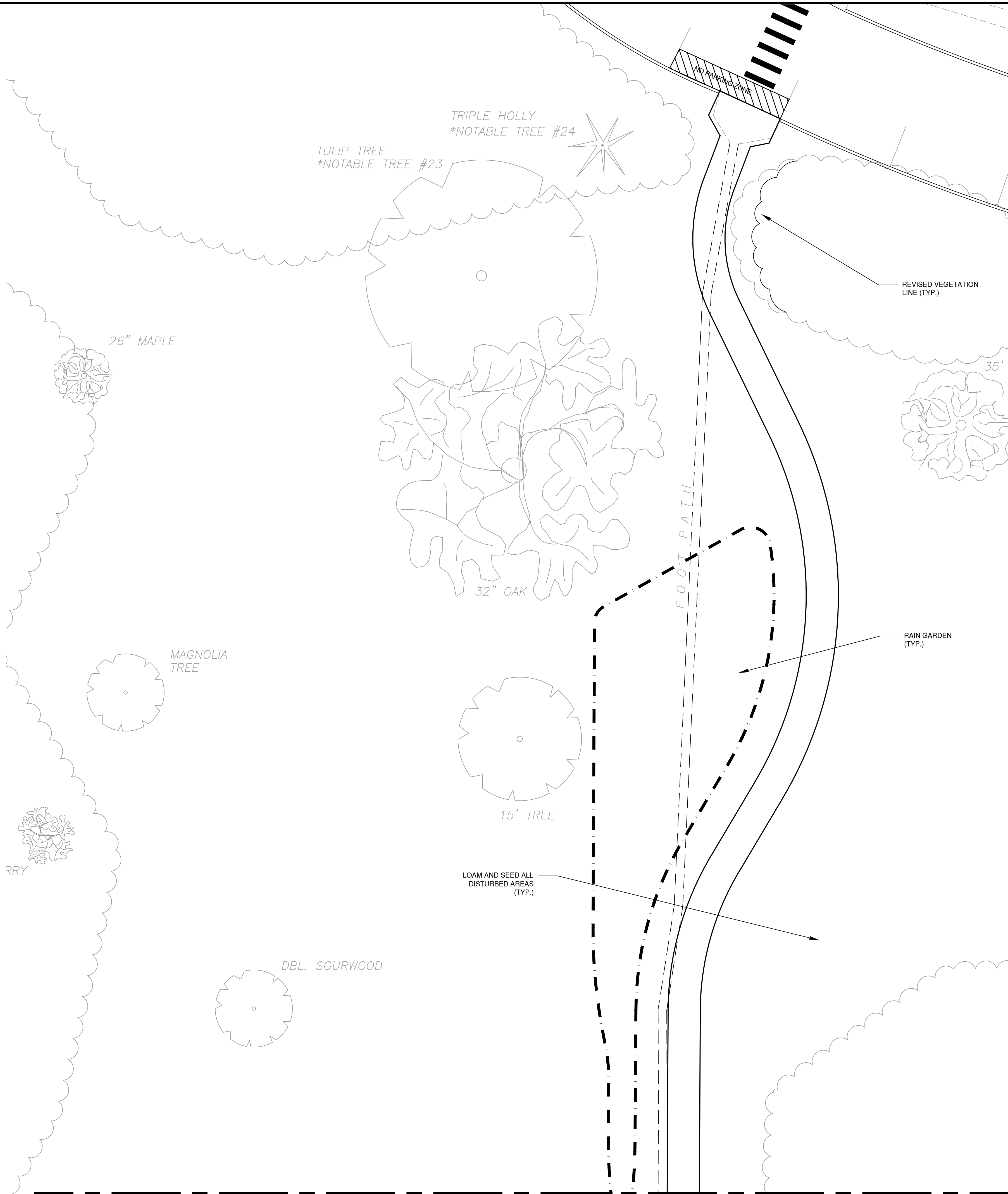
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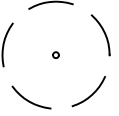
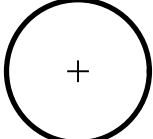




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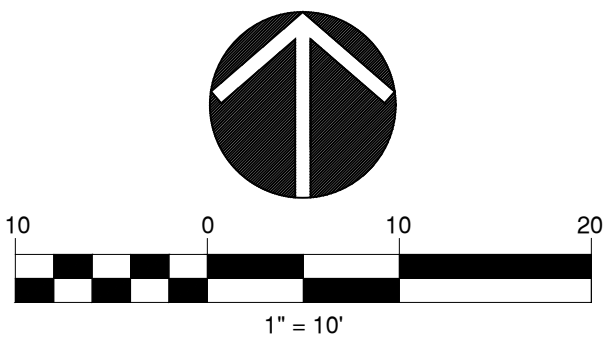
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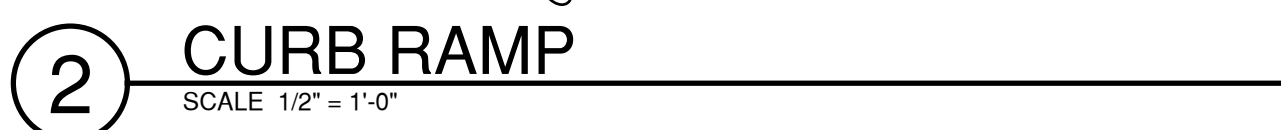
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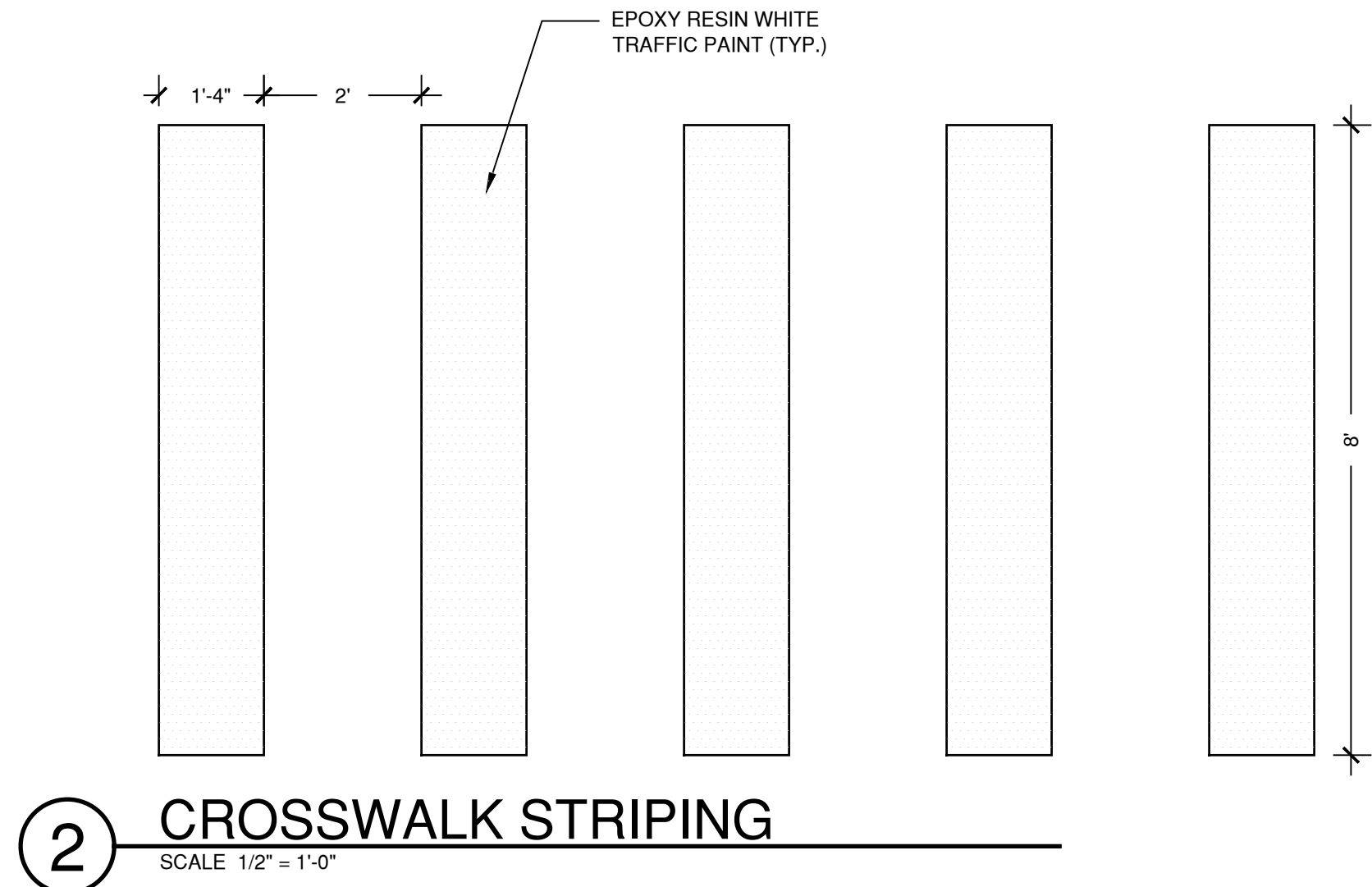
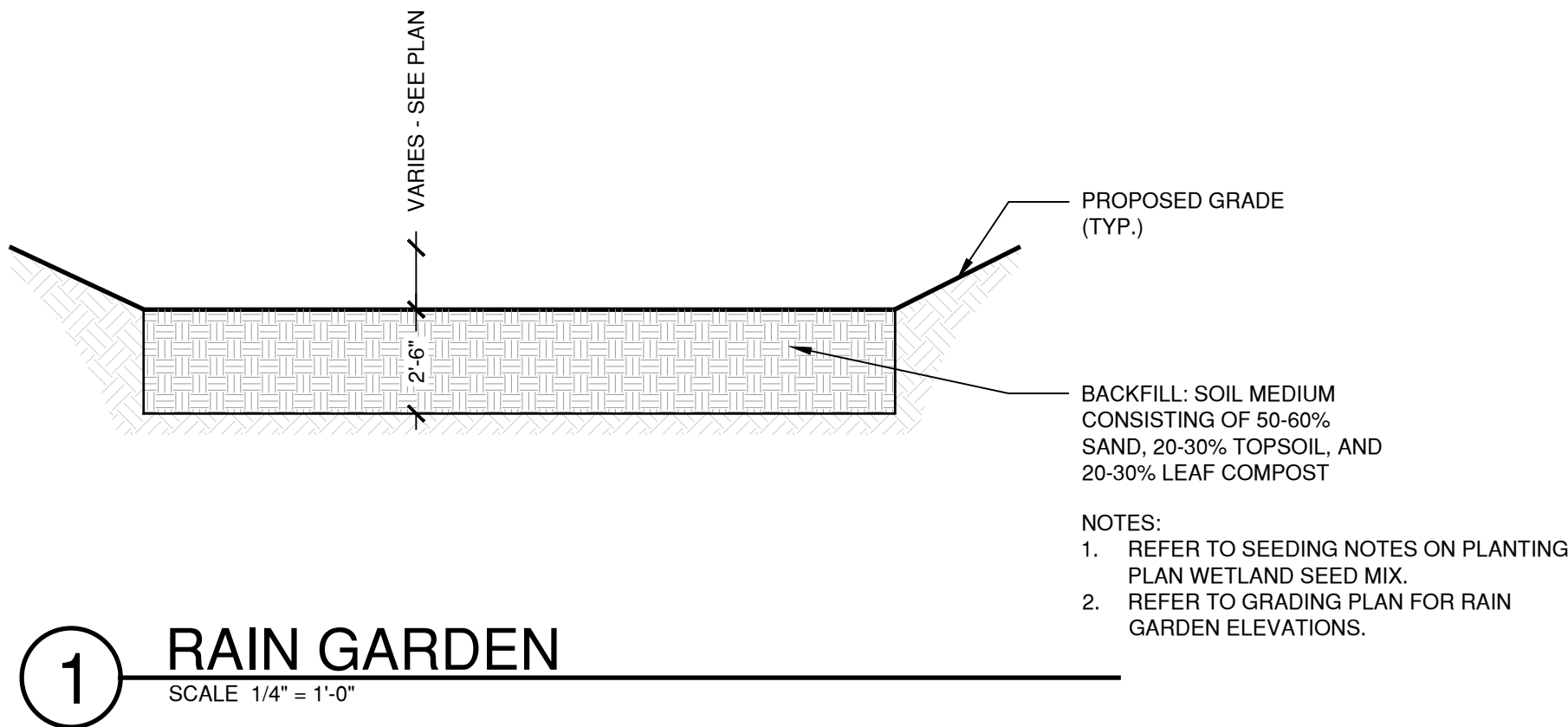
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SEDIMENTATION AND EROSION CONTROL

PER STATE OF CONNECTICUT PUBLIC ACT 83-388  
All applicable practices recommended by the 2002 CT Guidelines for Soil Erosion & Sediment Control are included by reference.

1. DESCRIPTION

The project consists of construction of a new pedestrian gateway at Fern Street, as well as a bituminous concrete walk from Fern Street to the park drive and new plantings.

2. SCHEDULE

The project is anticipated to begin construction in 2019.

3. DESIGN AND CRITERIA

Note: The Contractor shall name one individual as his Sediment and Erosion Control Supervisor whose primary responsibility will be the maintenance of all on-site erosion control measures. He will keep a daily log of his activities and an updated schedule of proposed construction activities. The log will be made available to inspectors.

- A. **GEOTEXTILE SILT FENCE (GSF)** - Shall be non-woven material, minimum 36" high and fastened to wood stakes (see detail this sheet). Silt fence shall be installed with end runs turned up grade at 45 degrees for a distance of 10 feet.
- B. **TEMPORARY SEEDING (TS)**
- Contractor shall scarify the soil to a depth of 2" before applying fertilizer, limestone and seed.
  - Seed may be applied by hand or mechanically. Seed application shall be uniform. Seed rate shall be in accordance with the 2002 Guidelines for Soil Erosion and Sediment Control (increase seeding rates by 10% when hydroseeding, Limestone, fertilizer and seed may be applied in slurry.)
  - Contractor shall mulch area (MS) immediately following seeding. (Note: In the event seeding operations are not feasible due to seasonal restrictions or extended inclement weather patterns, the Contractor shall install an Erosion Control Blanket over exposed soils.)
- C. **PERMANENT SEEDING (PS)**
- Contractor shall apply topsoil and fine grade all areas before the application of permanent seed. Apply limestone and fertilizer as needed, in accordance with soil tests.
  - Remove all surface stones ½ inch and larger. Remove all other debris and rake seed bed.
  - Apply seed within 7 days after establishing final grades. See planting plan.
- D. **HAY BALE BARRIER (HB)** - Shall be made of hay or straw with 40 pounds minimum weight and 120 pounds maximum weight, held together by twine or wire. (See detail this sheet.)
- E. **CONSTRUCTION ENTRANCE (CE)** - Shall be an angular stone (DOT Standard Spec Section M.01.01 size #3) pad, a minimum of 12' wide and 50' long. (See detail this sheet.)
- F. **EROSION CONTROL BLANKET (ECB)** - Erosion mat shall be placed on all exposed cut/fill slopes steeper than 3:1 (including swales & ditches) to protect against rainfall and hold moisture content to enhance vegetation growth in seeded areas. Mat (or blankets) shall be straw or straw/coconut fiber combination sewn together with lightweight netting. Use North American green. S150 - slopes up to 3:1, SC150-slopes from 3:1 up to 2:1 or greater. Temporary hay mulch to be applied to areas less than 3:1 slope and all areas to be left barren over the winter, mulch rate to be 70 pounds/1000 s.f.

4. APPLICATION/GENERAL PROCEDURES

- A. Soil erosion and sediment control measures will be installed prior to any site disturbance, and development will proceed according to a specific construction sequence. The objective is to maximize the reduction of sediment-laden runoff through implementation of conventional soil sedimentation and erosion control practices currently recommended by the 2002 "CT Guidelines for Soil Erosion and Sediment Control".
- B. Earthwork will be scheduled for periods when soil saturation is low and Soil loss hazard is at a minimum.
- C. Suspend earthwork for major storm events and implement additional sedimentation and erosion control measures as necessary.
- D. There shall be no cuts or fill left exposed for longer than 30 days. The established procedure of temporarily seeding and/or cover with erosion protection (mat or hay) shall be followed to insure minimal soil loss.

5. MONITORING AND MAINTENANCE PROGRAM

- A. For the duration of the project construction, the Contractor shall maintain all sedimentation and erosion control devices to insure their efficient operation.
- B. The responsibility for performing periodic checks of the protection system in-place and to coordinate cleaning and repair operations shall be assigned to the General Contractor's project representative.
- C. All sedimentation and erosion control devices shall be checked for the adequacy of the control systems prior to severe storm weather forecasts . Inspect control system during and after storms to determine necessary repairs.
- D. Repairs to sedimentation control systems directed by the project representative shall be done within 24 hours of the directive or as soon as possible prior to storm warnings.
- E. Replacement materials for the devices utilized must be readily available for repairs.
- F. Clean sedimentation and erosion control devices as directed by the projects representative.
- G. Placement of temporary sedimentation and erosion control devices that are not shown on plans, but are required due to Contractor's operations, shall be placed at the direction of the projects representative.
- H. Dust control and off-site debris caused by the Contractor's earthwork operations shall be prevented, or cleaned-up in accordance with the standard state specification "Form 816".

6. SPECIFIC MAINTENANCE MEASURES SHALL BE AS FOLLOWS:

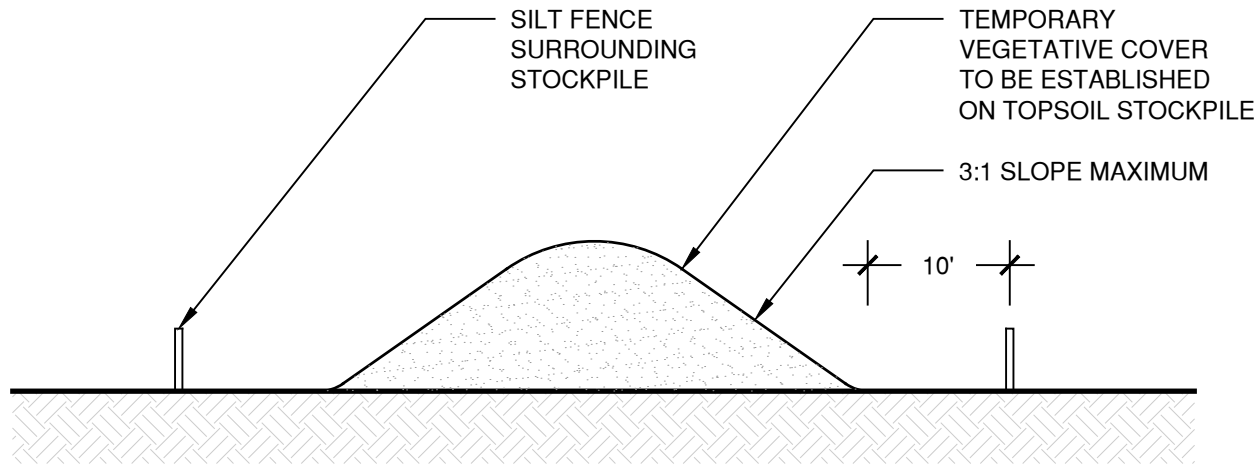
- A. **GEOTEXTILE SILT FENCE (GSF)** - Inspect GSF at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the fence within 24-hours of observed failure.
- B. **HAY BALE BARRIER (HB)** - Inspect HB at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the hay bales within 24-hours of observed failure.
- C. **CONSTRUCTION ENTRANCE (CE)** - Maintain the entrance in a condition which will prevent tracking and washing of sediment onto paved surfaces. Provide periodic top dressing with additional stone or additional length as conditions demand. Repair any measures used to trap sediment as needed. Immediately remove all sediment spilled, dropped, washed or tracked onto paved surfaces. Roads adjacent to a construction site shall be left clean at the end of each day.
- If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone pad is not sufficient to remove the majority of the sediment, then either (1) increase the length of the construction entrance, (2) modify the construction access road surface, or (3) install washing racks and associated settling area or similar devices before the vehicle enters a paved surface.

D. SEEDING (TEMPORARY & PERMANENT)

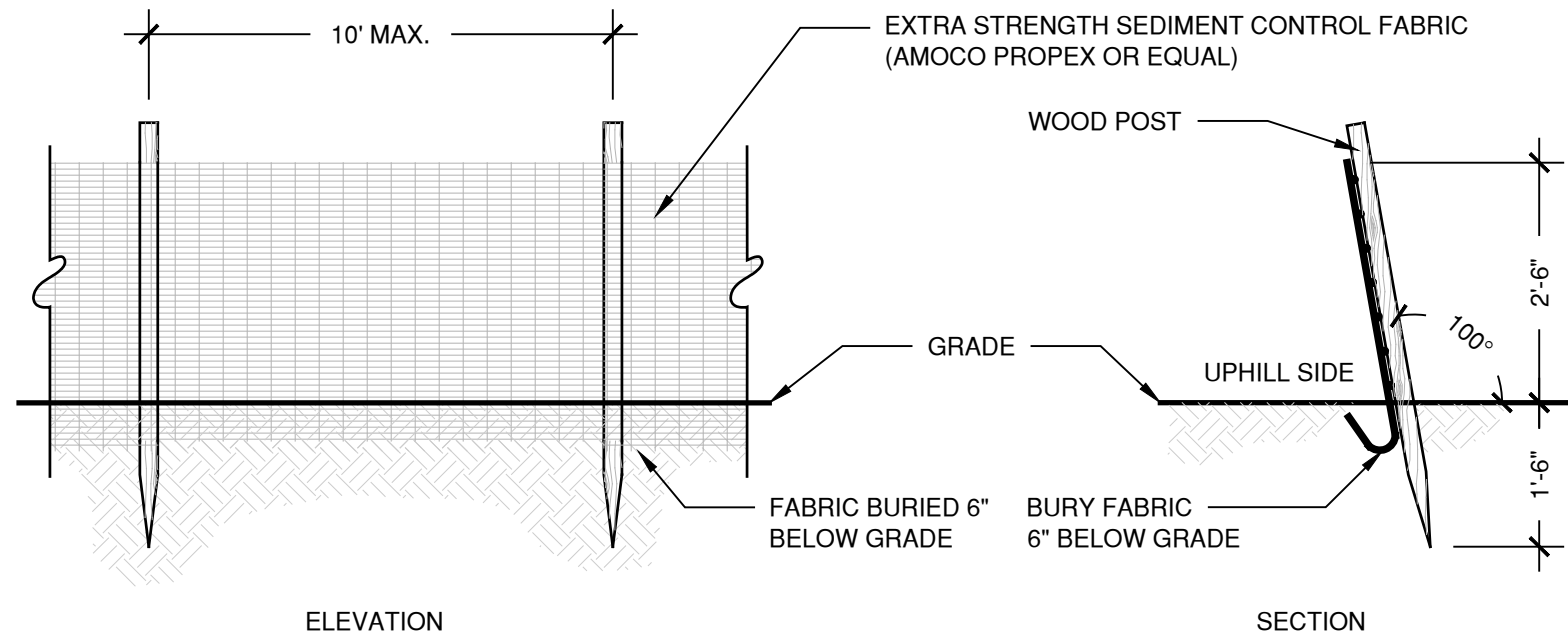
Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Bird feeding may be a problem if mulch was applied too thinly to protect seed. Re-seed and re-mulch. If movement was the result of wind, then repair erosion damage (if any), reapply seed and mulch and apply mulch anchoring. If failure was caused by concentrated runoff, install additional measures to control water and sediment movement, repair erosion damage, re-seed and re-apply mulch with anchoring or use Temporary Erosion Control Blanket measure.

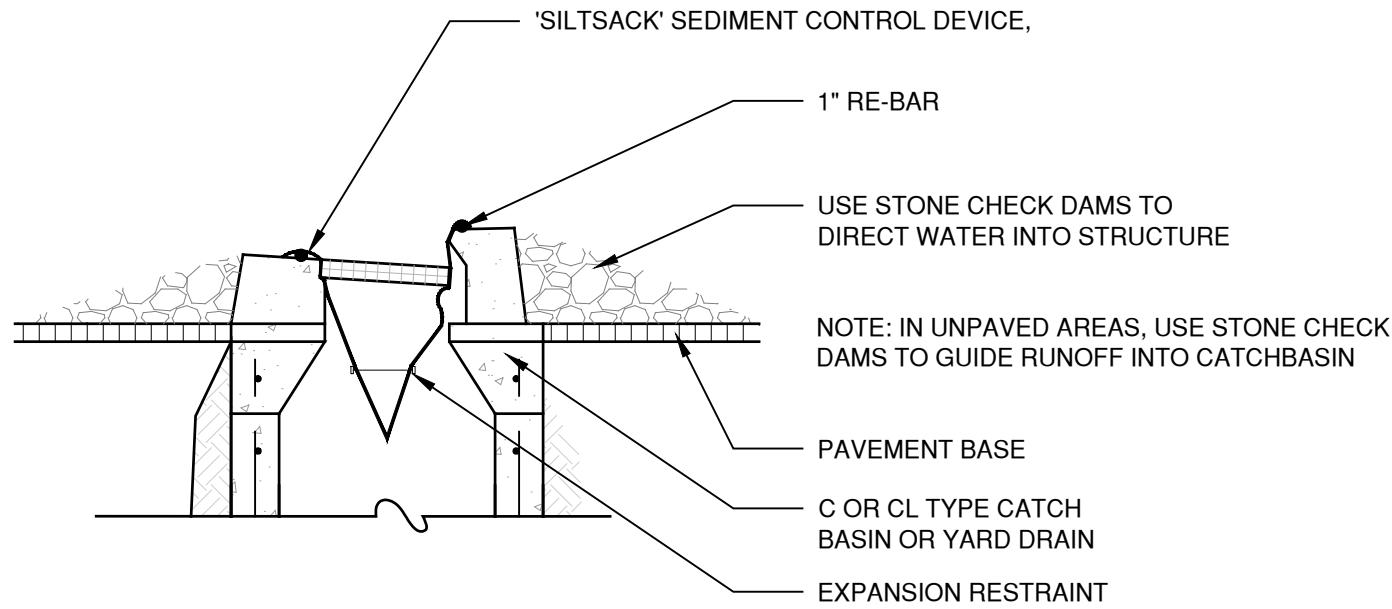
Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative surface cover).



1 TOPSOIL STOCK PILE AREA  
N.T.S.



2 GEOTEXTILE SILT FENCE (GSF)  
N.T.S.



3 SILT SACK (SS)  
N.T.S.